



**rare!** From Sanderson Young



**24 High View**  
Darras Hall, Ponteland







## 24 High View, Ponteland, Newcastle Upon Tyne NE20 9ET

Guide Price £1,300,000

A fabulous, four bedroom luxury home, located on a lovely 0.31 acre garden site, offering great privacy and security overlooking the surrounding gardens. The newly refurbished and furnished house has impressive accommodation set over two floors, which has been stylishly designed by professional Interior Designer, Louise Whitfield, and being offered as fully furnished for prospective clients. The house design incorporates up to date smart technology by 'Wakefields' with CCTV and security system, mood and feature lighting, a Bang & Olufsen sound system throughout and underfloor heating.

There has been great attention to detail in the design and conversion of the original house, with stunning cantilevered sliding doors to the corner of the open plan living room/kitchen which retract into the pocket walls to seamlessly bring the outside in, imported Portuguese roof tiles, Venetian plaster to one of the ceilings and 'Emprador' Spanish granite fitted in the German designed 'Next125' kitchen.

Reception hallway | Cloakroom/wc | Media room/study | Fantastic sitting/cinema room with fitted bar and entertaining area, and raised seating  
Magnificent open plan kitchen and family living area, with doors opening to the paved terrace, feature contemporary fireplace, and double doors opening to the cinema room | The impressive German designed kitchen has quality integrated appliances, a large central island and breakfast bar and beautiful granite worktops | First floor landing | Master bedroom with dressing room and luxury ensuite bathroom/wc with twin 'his and hers' showers, twin marble vanity unit, bath, and steam sauna | Three further bedrooms, all with dressing rooms and ensuite shower rooms with marble vanity units | Double garage with electric door, gated courtyard parking area to the side, and extensive driveway for several cars with secure electric gates

Externally, the house has lawned gardens, with a large terraced seating area leading from the house, ideal for outside entertaining and barbecues. The house is not overlooked at the rear, with views over the large gardens of the neighbouring houses. NO UPWARD CHAIN.

Services: Mains gas, electricity, water and drainage | Tenure: Freehold | Council Tax Band: F | EPC Rating: C





















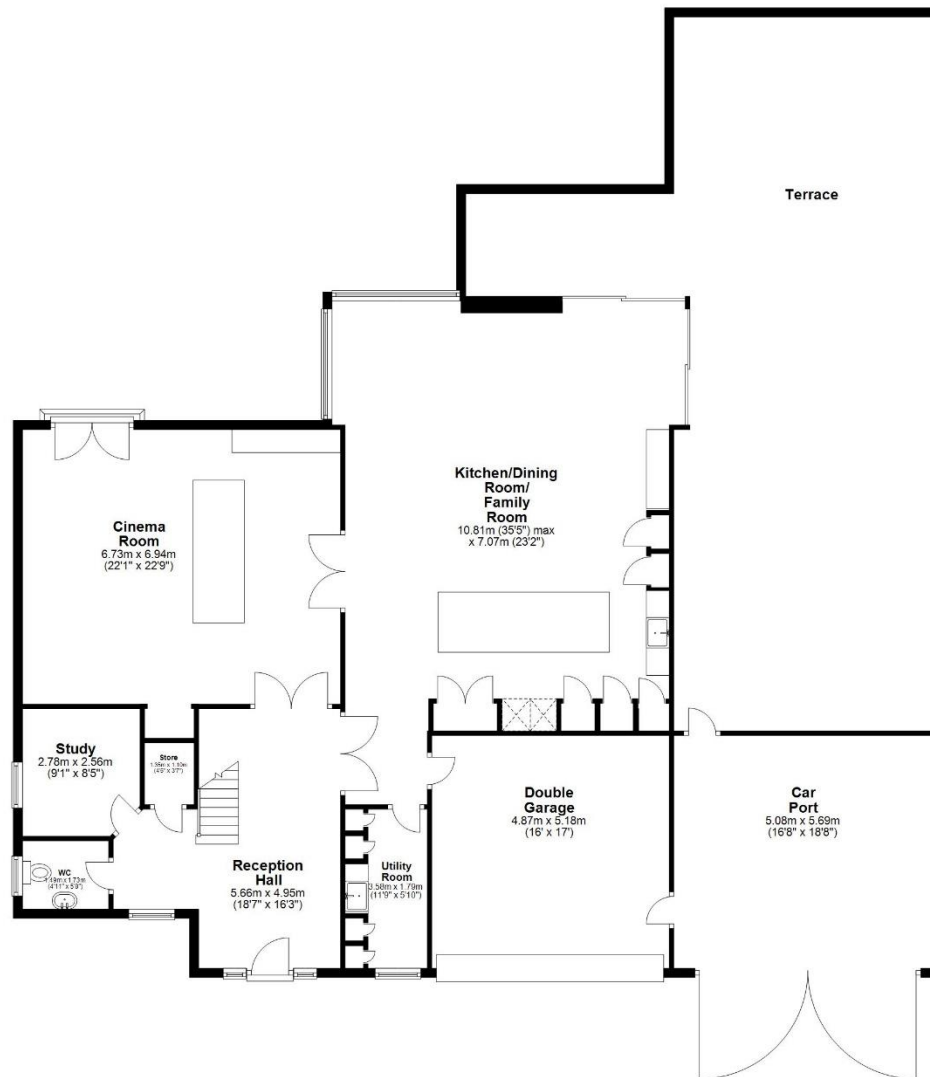




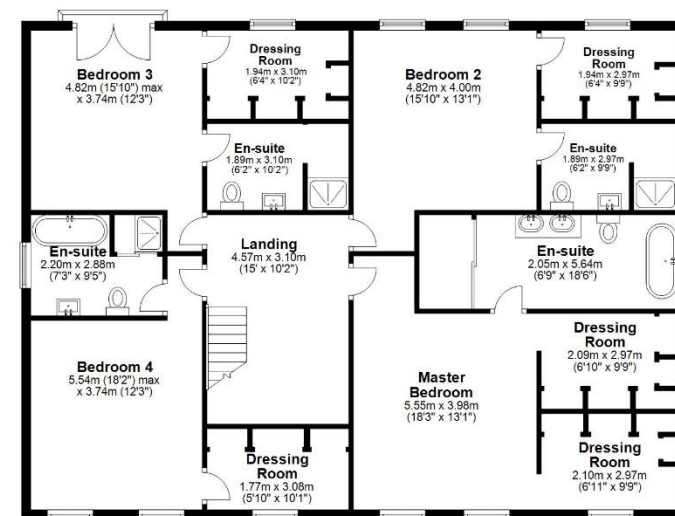




**Ground Floor**  
Approx. 310.6 sq. metres (3342.8 sq. feet)



**First Floor**  
Approx. 147.6 sq. metres (1588.5 sq. feet)



Total area: approx. 458.1 sq. metres (4931.3 sq. feet)

TOTAL FLOOR AREA SHOWN INCLUDES THE CAR PORT AND GARAGE  
Plan produced using PlanUp.

**24 High View, NEWCASTLE UPON TYNE**





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All confidential enquiries to:  
rare! Office, 95 High Street, Gosforth, Newcastle upon Tyne NE3 4AA  
E: [duncan.young@sandersonyoung.co.uk](mailto:duncan.young@sandersonyoung.co.uk) | E: [ashleigh.sundin@sandersonyoung.co.uk](mailto:ashleigh.sundin@sandersonyoung.co.uk)  
T: 0191 2233500 | [www.sandersonyoung.co.uk](http://www.sandersonyoung.co.uk)